



CITY OF SHOW LOW
BUILDING SAFETY DEPARTMENT
180 N. 9TH STREET
SHOW LOW, AZ 85901
(928) 532-4050 /FAX (928) 532-4059

COMMERCIAL BUILDING APPLICATION PACKET

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Building Codes and Standards

BUILDING CODE: International Code, Series 2006

PLUMBING CODE: International Plumbing Code, Series 2006

MECHANICAL CODE: International Mechanical Code, Series 2006

FIRE CODE: International Fire Code, Series 2006

ELECTRICAL CODE: NEC 2005

WIND LOAD: 90 MPH

SNOW LOAD: 4/12 or greater – 30 lbs live snow load

SNOW LOAD: less than 4/12 – 35 lbs live snow load

FROST LINE: 18 inches

EXPOSURE: C

SEISMIC ZONE: B

GAS TEST SPECIFICATIONS: Minimum of 3# PSI for 10 minutes 1/10th#
increment gauge

AMERICAN NATIONAL STANDARD: ADA Accessibility '2006'



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GENERAL INSTRUCTIONS for COMMERCIAL BUILDING APPLICATION

These are general instructions only. Please contact the Building Department staff to schedule a required pre-submittal meeting prior to submitting your application and supporting documentation.

- A) **COMMERCIAL APPLICATION FOR PLAN APPROVAL:** A request for plan approval shall be filed with the zoning administrator on a form prescribed by the administrator. Six (6) identical copies - four (4) if this is a tenant improvement - of the engineered design building plans shall accompany the request. A \$400 deposit will be received when the plans are submitted. The deposit will be applied to the plan review fee at the time of issuance.
- B) **SITE PLAN/LANDSCAPING PLAN:** a site plan (**drawn to scale**) and a landscaping plan shall accompany the request for approval. Each copy shall be one or more sheets of paper measuring not more than twenty-four (24) by thirty-six (36) inches, drawn to a scale not smaller than forty (40) feet to the inch. **Please note: If the total square footage of this project is 3,000 sf or greater for new commercial or 1,500 sf for additions/tenant improvements, each page of the plans must have the seal, signature, and date of an architect or engineer, one set of plans must provide a wet seal and the rest can be copies.**

Plans will show the following:

- 1- Lot dimensions
- 2- Location, size, height, use, and exterior materials of all buildings and structures.
- 3- Size and dimensions of yards and space between buildings.
- 4- Location and height of walls and fences.
- 5- Location, number of spaces, dimensions, circulation patterns, and surface materials for all off-street parking and loading areas, driveways, access ways, and pedestrian walkways.
- 6- The location, dimensions, area, materials, and lighting of signs.
- 7- Location and general nature of lighting.
- 8- Street dedications and improvements.
- 9- Existing and proposed grades and drainage systems.
- 10- The size and location of all existing and proposed public and private utilities. All easements must be shown.
- 11- Natural methods such as mesas, rock outcroppings, or streams, and man made features such as existing roads and structures, with indication as to which are to be retained and which are to be removed or altered.

- B) SPECIFIC LOCATION: Assessor's Plat Location/Book, Page and Parcel Number; i.e. 210-27-010A, Subdivision and lot number.
- C) TIMEFRAMES: Three (3) to four (4) weeks may be required for plan review and/or approval. Upon approval, one set of plans will be returned. Conformance to all city adopted codes, additions and addendums to the codes is mandatory and shall be enforced.
- D) INSPECTIONS: Inspections are required for all phases of construction. No footing or foundation will be approved without clearly delineated, accurate property lines and property yard setbacks.

When requesting inspections, please indicate the following:

- 1) Owner's Name
- 2) Street address of project as listed on permit
- 3) Permit number
- 4) Subdivision and lot number
- 5) Type of inspection requested
- 6) Instructions, remarks, if any

Please note: A notice of at least 24 hours prior to any requested inspection shall be given to allow for sufficient scheduling. FAILURE TO REQUEST CAN RESULT IN ISSUANCE OF A STOP WORK ORDER OR REVOCATION OF BUILDING PERMIT, PER SECTION 302 OF THE UNIFORM BUILDING CODE.

- E) A newly constructed building may not be occupied until after the final inspection and a Certificate of Occupancy (C of O) or a Temporary Certificate of Occupancy (T.C.O.) is issued by the Department of Building Inspection. If a T.C.O. is issued, another final inspection is required prior to the expiration date of the T.C.O. At that time, all discrepancies noted on the T.C.O. must have been corrected. The builder is responsible for obtaining this inspection!

COMPLIANCE WITH THE CITY BUILDING CODES AND ZONING REGULATIONS IS MANDATORY FOR ALL CONSTRUCTION AND DEVELOPMENT WITHIN THE CITY OF SHOW LOW.

BECOME AWARE OF THE REGULATIONS AND REQUIREMENTS BEFORE PROCEEDING WITH ANY PROJECT.

THIS SECTION CONTAINS GENERAL INSTRUCTIONS ONLY. SPECIFIC REQUIREMENTS FOR EACH SUBMITTAL ARE CONTAINED IN THE PRE-SUBMITTAL CHECK LIST AT THE BEGINNING OF THIS PACKET. PLEASE CONTACT US TO SCHEDULE YOUR PRE-SUBMITTAL MEETING PRIOR TO SUBMISSION OF YOUR APPLICATION AND SUPPORTING DOCUMENTATION.

Pre-Submittal Checklist

In order to facilitate site plan review and official submittal to the City of Show Low and to provide consistency in the review, **all commercial projects now require a pre-submittal meeting**. Items not already marked as required will be determined whether or not they will be required in the pre-submittal meeting. Please keep this checklist and have it with you when you submit your plans to the building department to help speed up the submittal process*.

Project: _____

Address/A.P.N.: _____

Contact Name: _____

Contact Address: _____

Phone Number: _____ - _____

Submitted	Required	Building	Sheet #
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Date of Pre-Submittal Meeting: ____/____/____	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>Site Plan and Support Documents.</i> Six (6) identical copies of the plan shall accompany the request for review (four (4) copies if tenant improvement). Each copy shall be on one or more sheets of paper measuring not less than eleven (11) inches by seventeen (17) inches, drawn to a scale not smaller than forty (40) feet to the inch. Large scale projects shall be submitted on paper measuring not less than twenty-four (24) inches by thirty-six (36) inches.	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	New commercial over 3,000 sq. ft. Commercial additions/tenant improvements over 1,500 sq. ft. require an engineer's/architect's stamped/sealed set of plans.	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Occupancy group(s)	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Building construction type(s)	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fire sprinklers and types	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous materials	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Mezzanine	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Area(s) (sq. ft.)	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fire alarm	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Occupancy separations	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fire Rating(s)	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Grease intercept	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Area separation	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sand/oil separator	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Floor plan	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Details/specs	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Electrical plan	_____

<i>Submitted</i>	<i>Required</i>	Building (continued)	<i>Sheet #</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Electrical load calculations	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Mechanical plan/specs	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plumbing/gas pipe	_____
<input type="checkbox"/>	<input type="checkbox"/>	New addition area (sq. ft.)	_____
<input type="checkbox"/>	<input type="checkbox"/>	New building area (sq. ft.)	_____
<input type="checkbox"/>	<input type="checkbox"/>	Foundation plan	_____
<input type="checkbox"/>	<input type="checkbox"/>	Number of stories	_____
<input type="checkbox"/>	<input type="checkbox"/>	Building sections	_____
<input type="checkbox"/>	<input type="checkbox"/>	Building elevations	_____
<input type="checkbox"/>	<input type="checkbox"/>	Roof plan with drain	_____
<input type="checkbox"/>	<input type="checkbox"/>	Structural plans	_____
<input type="checkbox"/>	<input type="checkbox"/>	Truss calculations	_____
<input type="checkbox"/>	<input type="checkbox"/>	Structural calculations	_____

<i>Submitted</i>	<i>Required</i>	Planning & Zoning	<i>Sheet #</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Site Plan and Support Documents (see building requirements for size and number)	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Lot dimensions.	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	A legal description of the land included in the site plan and of the lot; the name, address and telephone number of the owner, developer and designer;	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location, size, height, use and exterior materials of both existing and proposed buildings and structures, including distances from all structures to all property boundaries	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Size and dimensions of yards and space between buildings.	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking and circulation areas; which shall include elements as required by Section 15-1-46.	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location, height, and composition of walls and fences	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Percentage of the site covered by impervious surfaces, both existing and proposed.	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Percentage of the site covered by any and all structures, both existing and proposed.	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Building drawings. Including floor plans and elevations of all principal and accessory buildings shall be provided. Include façade and fascia treatments if applicable.	_____
<input type="checkbox"/>	<input type="checkbox"/>	Summary schedule. Number of units, types of units (if applicable), gross and net square feet, building height, parking requirements, provided spaces and required spaces, etc.	_____

<i>Submitted</i>	<i>Required</i>	Planning & Zoning (continued)	<i>Sheet #</i>
<input type="checkbox"/>	<input type="checkbox"/>	Natural features such as mesas, rock outcroppings, or streams and Manmade features such as existing roads and structures, with indication as to which are to be retained and which are to be removed or altered.	_____
<input type="checkbox"/>	<input type="checkbox"/>	Landscaping plan as required by section 15-1-60 D (7)	_____
<input type="checkbox"/>	<input type="checkbox"/>	Screening as required by section 15-1-60 D (8)	_____
<input type="checkbox"/>	<input type="checkbox"/>	Future land use designation for the site.	_____
<input type="checkbox"/>	<input type="checkbox"/>	Show enclosed refuse, storage, and loading areas.	_____
<input type="checkbox"/>	<input type="checkbox"/>	Location the nearest fire hydrant(s).	_____
<input type="checkbox"/>	<input type="checkbox"/>	Location of sidewalks.	_____
<input type="checkbox"/>	<input type="checkbox"/>	Traffic control devices and street lighting.	_____
<input type="checkbox"/>	<input type="checkbox"/>	Street dedications and improvements.	_____
<input type="checkbox"/>	<input type="checkbox"/>	A traffic study conducted by a registered traffic engineer.	_____
<input type="checkbox"/>	<input type="checkbox"/>	Show ingress/egress- adjacent streets/roads shown/named and all existing and proposed driveway entrances.	_____
<input type="checkbox"/>	<input type="checkbox"/>	The location, dimensions, area, materials and lighting of signs; <u>any sign(s) require a separate sign permit.</u>	_____
<input type="checkbox"/>	<input type="checkbox"/>	Exterior lighting, if any, and the type of lighting, height and areas of illumination, which meets the requirements of section 15-1-71 through 76.	_____
<input type="checkbox"/>	<input type="checkbox"/>	Tree preservation plan.	_____

<i>Submitted</i>	<i>Required</i>	Engineering	<i>Sheet #</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Detailed grading with spot elevations at handicap ramps, handicap parking and other appropriate critical areas.	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Grading plan should show the location, slopes and direction of proposed drainage.	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location, size, and invert elevations of adjacent public sanitary sewer and water lines serving the property.	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location, size, and invert elevations of proposed building services for sanitary sewer and water lines. Water line information to include water meter size.	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Property boundary, right of way lines and easements with dimensions and bearings.	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Names of adjacent streets. Location and dimensions of proposed access drives and roads. Right of way and easement widths (existing and proposed).	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dimensions to proposed improvements to the property boundary and right of way lines	_____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage conveyance improvements including swales, pipes, inlets, and detention.	_____

- | | | | |
|--------------------------|-------------------------------------|--|-------|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Calculations for the following; Site drainage. Calculations for storm water detention or calculations showing that the increased runoff will not adversely affect the downstream drainage. The narrative portion of the report is required and must include a discussion of methods used, assumptions, values for rainfall data, values for times of concentration, values for runoff coefficients, conclusions and recommendations. The calculations need to compare the runoff of the pre-developed vs. post developed conditions for each of the design storms (2yr., 10yr., and 100yr.). A table showing the touring of the runoff through the outlet pipes in ponds. The calculations shall include stage-storage-discharge values. Stage increments should not exceed 1/2 foot. Outlet structure shall include an emergency overflow. Review City Code Chapters 12 and 15 for design requirements. | _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Erosion Control Permit | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Benchmark, basis of bearings, and vicinity map. | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | List of utility providers | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Details for handicap ramps, including slopes and grades. | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Details for striping and signing for handicap parking. | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Details for curbs, pavement sections, sidewalk sections, water meter, sewer service connections, and water service connections. | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Permits for work within public rights of way | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Sewer service sizing per current adopted International Plumbing Code | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Water service and meter sizing per current adopted International Plumbing Code. | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Erosion Control Plan | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Backflow prevention | _____ |

**This checklist is not intended to be all-inclusive. It is intended to provide a guideline in the preparation of plans for submittal to the City for review. There may be additional submittal requirements required by the City not on the checklist. Please consult Show Low City Code for additional requirements.*

COMMERCIAL PERMIT APPLICATION

APPLICANT TO PROVIDE ALL THE FOLLOWING INFORMATION (PLEASE PRINT)

For Office Use Only:

Permit #:
Date Received:
Deposit:



City of Show Low
Building Safety Department
180 N. 9th Place
Show Low, AZ 85901
(928) 532-4050/
Fax: (928) 532-4059

Construction Address: Lot _____ Unit _____
Subdivision: _____
Street Address: _____
Assessor's Parcel Number: _____

Owner: _____ Mailing Address: _____

City: _____ State: _____ Zip Code: _____ Phone: _____

Contractor: _____ Mailing Address: _____

City: _____ State: _____ Zip Code: _____ Phone: _____

Contractor License #: ROC - _____ *City of Show Low Business Permit #: _____

Architect or Engineer of Record: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____ Phone: _____

Occupancy Classification: _____ Type of Construction: _____ # of stories: _____

Describe Building Project**: _____

**Additions or Alterations require a Tenant Improvement (TI) Valuation: \$ _____

Floor Area total sq. ft: _____ Basement: _____ 1st: _____ 2nd: _____

Exits Required: Basement: _____ 1st story: _____ 2nd story: _____ 3rd story: _____

Automatic Sprinkler: Yes No If "Yes": Full Partial Wet Dry

Backflow: Yes No If "Yes": Dry Wet Chemical Pumped Storage

Snow Load: 4:12 or greater – 30 lbs live snow load; less than 4:12 – 35 lbs live snow load

Electrical Plans: use NEC-2005 standards
Mechanical Plans: use IMC-2006 standards
Plumbing Plans: use IPC-2006 standards
Building Plans: use IBC-2006 standards
Fire Plans: use IFC-2006 standards

Seismic Zone: B
Exposure: C
Wind Load: 90 mph
Frost Line: 18 inches

A **\$400.00 deposit** must be submitted with this application and will be applied to the plan review fee.

***Any person, business or company (including subcontractors) conducting business within the city limits of Show Low must have a City of Show Low business permit. An application is included in this packet or you may call City Hall at (928) 532-4000 for further information.**

Additional Comments:

NOTICE

Separate instructions are required for footings, stem wall, slab reinforcement, under floor framing, roof sheathing/nailing, framing, insulation, drywall nail, water service/sewer service, underground plumbing, rough plumbing/framing/electrical/heating ducts/vents, gas yard line, final gas test, electric service, and final.

Per Section 7-5-6 of the City of Show Low Building codes, a **re-inspection fee (\$50.00)** may be assessed for each inspection or re-inspection when such portion of work for which inspection is called is not complete or when corrections called for are not made. Re-inspection fees may also be assessed when the inspection record card is not posted or otherwise available on the work site, the approved plans are not readily available to the inspector, for failing to provide access on the date for which inspection is requested, or for deviating from plans requiring the approval of the building official.

This permit becomes null and void if work of construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after the work is commenced.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinance governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Name of Agent or Owner
(Please print) _____ Signature of Agent OR _____ Signature of Owner

THIS FORM SHOULD BE REVIEWED AND A COPY RETAINED BY THE APPLICANT.



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SHOW LOW, AZ 85901
(928) 532-4050 /FAX (928) 532-4059

APPLICATION FOR WATER/SEWER SERVICE

Name: _____
(Last) (First) (Middle)

Residential • Commercial

Building Permit No. _____ Date: _____

Single or Multiple Dwelling

Security Deposit No. _____

Property Location _____

Parcel No. _____

Account No. _____

IMPORTANT NOTICE: Before construction begins, obtain clearance for sewer and water easements. The City Inspector will stake location of water meter and sewer service. Restaurants & cafes are required to install grease interceptors.

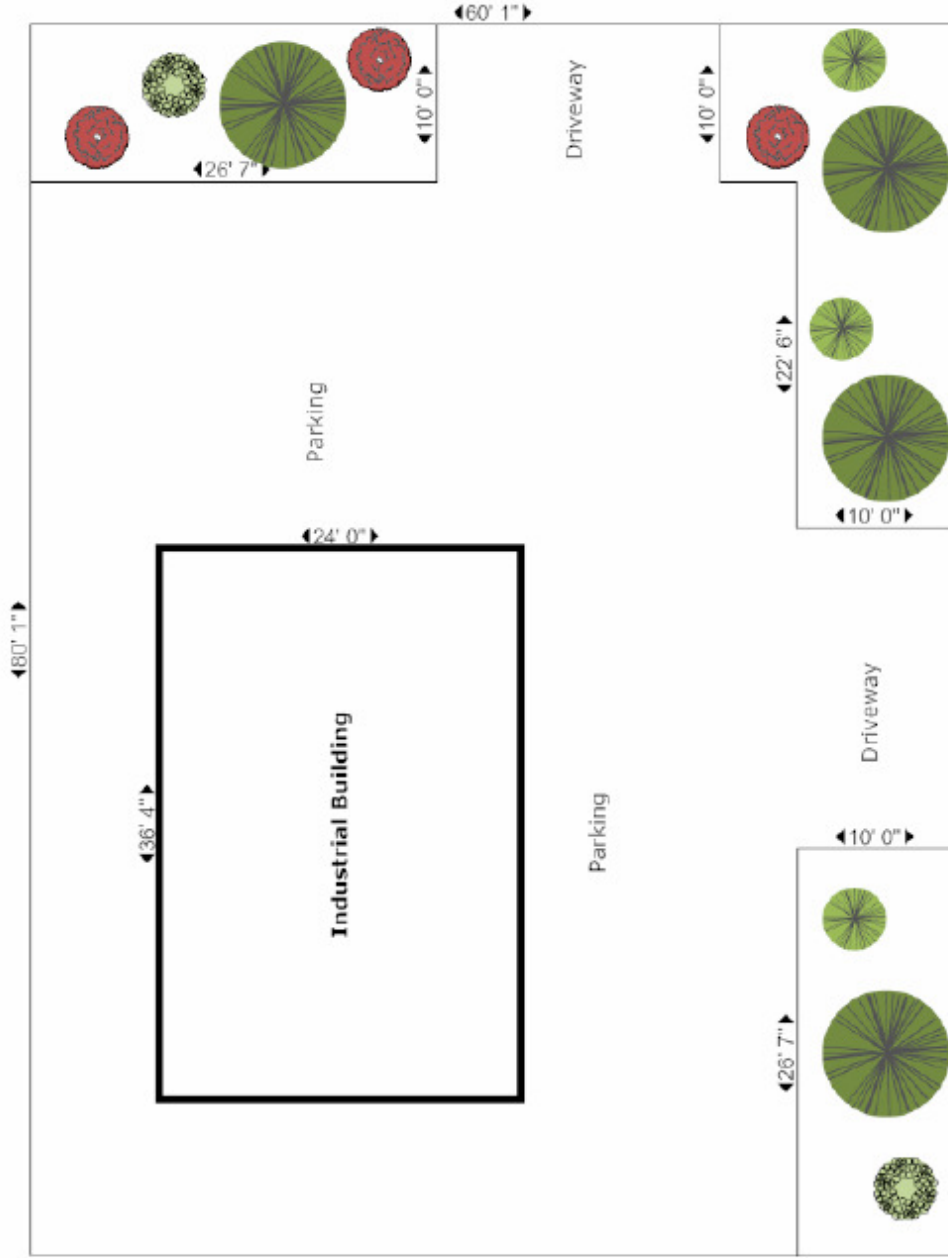
- Water meter installed
 - On
 - Locked Off
- Sewer connect

Signature of Applicant: _____

Signature of Contractor: _____

Approved By: _____ Inspected By: _____ Date: _____

SAMPLE INDUSTRIAL LANDSCAPE PLAN



PLANT LEGEND

SYMBOL	COMMON NAME	SIZE	QUANTITY
	TREE	15 GAL.	4
	SHRUB	15 GAL.	3
	SHRUB	5 GAL.	3
	SHRUB	5 GAL.	2

-Vegetative ground cover, granite, gravel or cinders shall be used in landscape areas

-10 ft average width X length of property line – driveways = required landscape area.

-An average of 10 feet measured from the property line and the street side property line, extending the developed length of the property (except for driveways), shall be landscaped.

-All open areas not designated and surfaced for parking shall be landscaped.

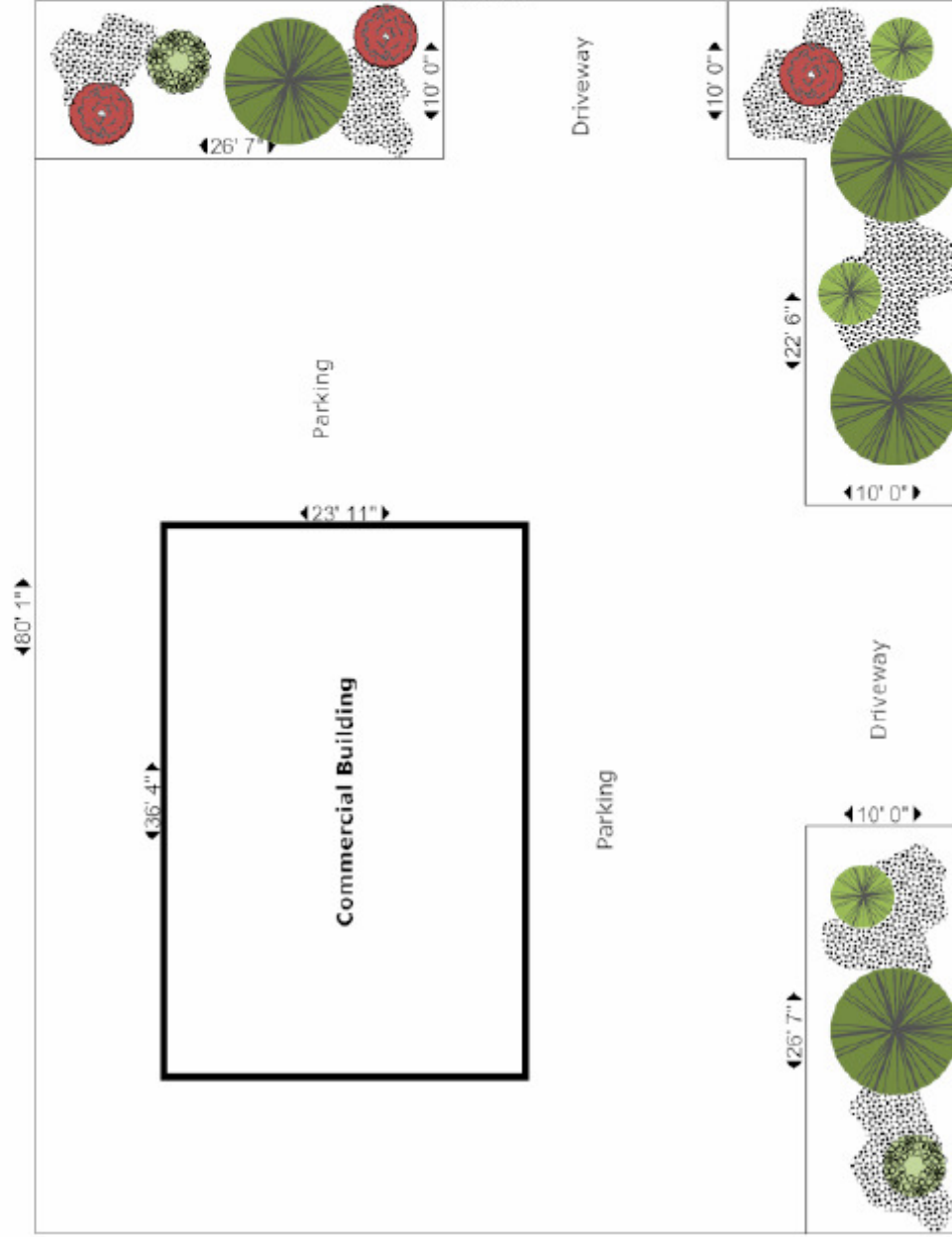
-1 tree per 200 square feet of required landscape area.

-1 shrub per 100 square feet of required landscape area.

-Example: 820 Sq. Ft./ 200= 4 Trees, 820 Sq. Ft./100= 8 Shrubs

*This Sample Landscape Plan illustrates the minimum general landscape requirements. Please refer to the specific Zoning District for complete landscape requirements.

SAMPLE COMMERCIAL LANDSCAPE PLAN



PLANT LEGEND

SYMBOL	COMMON NAME	SIZE	QUANTITY
	TREE	15 GAL.	4
	SHRUB	15 GAL.	3
	SHRUB	5 GAL.	3
	SHRUB	5 GAL.	2
	VEGETATIVE GROUND COVER		246 Sq. Ft.

- A minimum of 30% of the required landscape area shall consist of vegetative ground cover.
- Remaining landscape area not covered by vegetative ground cover shall be landscaped and may utilize granite, gravel or cinders.

-10 ft average width X length of property line – driveways = required landscape area.

-An average of 10 feet measured from the property line and the street side property line, extending the developed length of the property (except for driveways), shall be landscaped.

-All open areas not designated and surfaced for parking shall be landscaped.

-1 tree per 200 square feet of required landscape area.

-1 shrub per 100 square feet of required landscape area.

-30% vegetative ground cover of required landscape area.

-Example: 820 Sq. Ft./ 200= 4 Trees, 820 Sq. Ft./100= 8 Shrubs, 820 Sq. Ft. X 30%= 246 Sq. Ft. Vegetative ground cover

*This Sample Landscape Plan illustrates the minimum general landscape requirements. Please refer to the specific Zoning District for complete landscape requirements.



City of Show Low

ENGINEERING DEPARTMENT

180 N. 9TH STREET

SHOW LOW, AZ 85901

Erosion Control Plan Submittal Guidelines

Pursuant to City Code, Chapter 20, an erosion control permit is required prior to conducting the following activities on a property or site:

1. Activities including, but not limited to: construction, landscaping, removal of vegetation, stockpiling of soil or construction debris, grading, filling, excavating, trenching, drilling, transport of fill, utility work, etc. that disturbs 500 square feet or more of land surface area.

- OR -
2. Activities as described in subsection 1 or in this subsection that disturb less than 500 square feet of land surface and are located within 50 feet of any pond, lake, river, stream, corridor, canal, or wetland.
3. Exemptions: Landscaping activities in conjunction with a single-family residence shall be exempt from compliance with this Chapter. "Landscaping Activities" means: the installation or removal of vegetation and minor landscaping features. It does not include installation or removal of more than 50 cubic yards of fill, or installation of large site features like parking pads, swimming pools or structures as defined in Chapter 20 of the City Code, which are not exempt if the activity involved would otherwise require an erosion control permit under this section. (Developmental landscaping done for several single family residences at the same time).

The new Erosion Control Permit fee structure is included in the Building Permit Fee.

Once your plan is reviewed and a final version is approved, you are responsible for implementing the measures laid out in the approved plan prior to starting construction. Additionally, you are required to schedule and Initial Erosion Control inspection (after measure are in place), as well as a Pre-Footings Inspection (after excavation is complete). Please use the City's 24-hour inspection hotline for this purpose.

If you have any further questions, please contact the Building Department.



City of Show Low

ENGINEERING DEPARTMENT

180 N. 9TH STREET

SHOW LOW, AZ 85901

Erosion Control Permitting Guidelines

1. Pick up the Erosion Control Permit Application at the Building Department Service Counter. The application may also be downloaded from the City of Show Low's website at www.showlowaz.gov. (See previous page of this packet.)
2. Complete the application and submit it at the Building Department Service Counter with a site plan that meets the criteria outlined on the front page of this permit application packet.
3. The permit application will be reviewed. Any necessary changes will be made to the site plan to bring it into compliance with the City of Show Low Code (Chapter 20) and our adopted erosion control manual. Once reviewed, an Erosion Control Permit Number will be issued and the approved permit will be placed in the Building Department project file.
4. The permit can then be picked up and fees paid at the time of Building/Demo Permit issuance.
5. Once issued, it is the Builder's responsibility to implement the measures on the approved site plan and call in for an Erosion Control inspection from the Building Department scheduled for the same day that clearing or grading work will begin on the site. The inspection card must be posted on site to receive this inspection.
Note: In order for the inspection to be scheduled for the day that you pick up the permit, it will have to be phoned in the day before you intend to pick up or before 7:00 a.m. that morning.
6. Initial and Pre-footing Erosion Control Inspections are required for each site. Both of these inspections must be signed off on the yellow inspection card issued by the Building Department in order to get a Footings Inspection from the Building Department.
7. All soils site must be sufficiently stabilized to receive occupancy from the Building Department. This means that soils must either have established vegetative cover, or permanent ground cover (mulch, straw, wood chips, compost, rock). All temporary erosion control measures must be left in place until this condition has been satisfied. At the point, they should be removed from the site.



City of Show Low

ENGINEERING DEPARTMENT

180 N. 9TH STREET

SHOW LOW, AZ 85901

Erosion Control Site Plan Requirements

Your Erosion Control Permit Application **will not** be processed until a site plan is submitted addressing the following items:

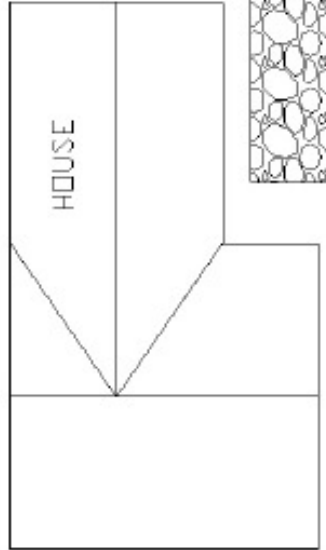
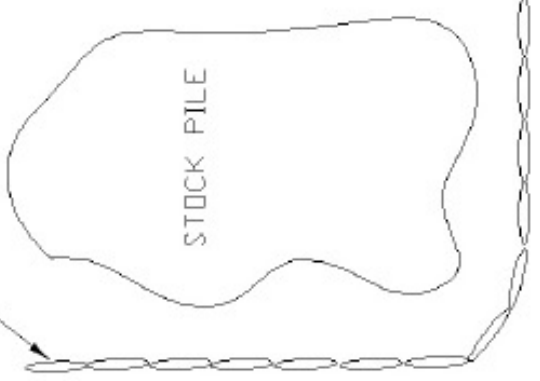
1. Location of all site disturbances associated with your project.
2. Corner elevations, contours, or arrows clearly marking the direction of stormwater flow on the site.
3. *Access points (construction entrance, existing paved driveway, or access protected with alternative materials such as wood chips, plywood, etc.)
4. Perimeter containment measures (sediment fence, compost filter berm, existing structures, etc.)
5. **Inlet protection (choose the most appropriate measure of the situation. Biobags or non-woven catch basin inserts can be used).
6. Stockpiling/staging areas.
7. Erosion control measures shall be maintained throughout the length of the project.

*Item #3 is required base measures. These measures must be shown on your plan, or a narrative description of why these measures are not necessary must be presented with the plan. In the case that a narrative explanation is provided, the site will be assessed at the initial inspection and a determination will be made at the time as the measures that will be necessary.

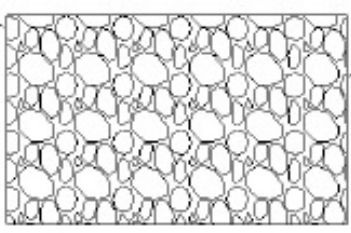
**Inlet protection is always required.

See attached sample site plan

CORNER ELEVATIONS, CONTOURS, OR THE DIRECTION OF FLOW SHOULD BE INDICATED ON THE SITE PLAN



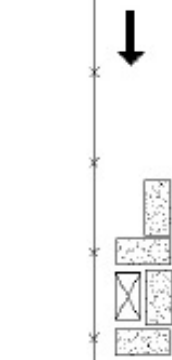
INSTALL 12'x20' (MIN.) GRAVEL OR CINDERS 'CLINKERS' IN CONSTRUCTION ENTRANCE USE 1-1/2" ROCK (MIN.)



PERIMETER MEASURE (SUCH AS SEDIMENT FENCE OR WATTLES)



INDICATE ACCESS POINT OR LOCATION OF CONSTRUCTION ENTRANCE



INLET PROTECTION AT THE FIRST DOWNSTREAM CATCH BASIN OR CULVERT



City of Show Low
 ENGINEERING DEPARTMENT
 180 N. 9TH STREET
 SHOW LOW, AZ 85901

BP# _____
 Issued by _____
For City Use Only

Erosion Control Permit Application

General Contractor Information	Building Permit Application No.:
Name:	Parcel ID No. (APN):
Address:	
City, State, Zip:	
Phone: Cell:	Subdivision Name:
Owner Information	Site Address:
Name:	Location from Nearest Intersection: <div style="text-align: right;"><i>Feet</i></div>
Address:	Job Site (circle one): Private Public
City, State, Zip:	Amount of Work Area to be Excavated: <div style="text-align: right;"><i>Square Feet</i></div>
Phone: Cell:	Existing & Proposed Site Runoff Drains (circle one): Ditch Pipe Creek Catch basin
24-Hour Emergency Contact	Other:
Name:	Soil Disposal:
Address:	Disposal Location Address:
City, State, Zip:	Estimated Amount: <div style="text-align: right;"><i>Cubic Feet</i></div>
Phone: Cell:	

****** Erosion control measures ***MUST*** be in place prior to any stripping, grading, or excavation work and shall remain until excavation component is complete and disturbed areas are re-vegetated or protected.

_____ Owner/Applicant Signature

_____ Date

CITY OF SHOW LOW
BUILDING DEPARTMENT
AFFIDAVIT OF NOTICE

This is to verify that I /We _____, the legal owner(s)
(PRINT YOUR NAME)

and/or Building Contractor of Lot # _____ in _____ (Subdivision)

and/or _____ (Address) are aware and understand that the City of

Show Low Building Permit No. _____, which I/We have applied for, may or may not conform to

the covenants, conditions, and restrictions/deed restrictions of the above mentioned Subdivision

and/or Address. I hereby agree to hold the City of Show Low harmless should any legal action result

against me in the execution of this permit and acknowledge that the City of Show Low has no legal

responsibility for the issuance of this permit in conflict with such deed restrictions. I hereby accept

Building Permit No. _____ in full knowledge of the above mentioned statement and facts.

Building Contractor *(SIGN YOUR NAME)*

Lot Owner *(SIGN YOUR NAME)*

Date

State of Arizona)
)
County of Navajo)

This instrument was acknowledged before me this _____ day of
_____, 20_____.

(seal)

Notary Public
My Commission expires on: _____

When completed, please return to: City of Show Low, 180 N. 9th Street, Show Low, AZ 85901
Please direct any questions to: Justen Tregaskes, Planning and Zoning Director (928) 532-4041

Business License Application

♣ City of Show Low ♣

(Application fee: \$25.00)

Name of business: _____
Name of applicant: _____ Relationship to business: _____
Phone: _____ Cell: _____
Email: _____

Physical address*: _____ Mailing address (if different): _____

*If this business is located in a residence within the City of Show Low, you will also need a Home Occupation Permit.

Brief description of nature of business: _____

Type of business: Corporation L.L.C. Partnership Sole Proprietor

If a corporation or L.L.C., state where incorporated: _____
Statutory Agent: _____
Arizona Transaction Privilege Tax Number: _____
Contractor's license number (if applicable): _____
Emergency contact name: _____ Phone: _____

Owners/officers of business (required)

Name	Date of birth

Required attachments (if applicable):

- A list of officers/owners/managers of the business and their addresses.
- Affidavit demonstrating lawful presence in the United States with required document.
- A copy of the Arizona Transaction Privilege Tax documentation.
- If business involves food, a copy of Navajo County Health Department approval.
- A list of hazardous materials or hazardous wastes which will be used or stored by the business.
- Copies of any additional licensing, registration, or permit requirements, i.e. professional, medical, technical, contractors, real estate, etc.

For Office Use Only

Police warrant check: _____ Date: _____
P & Z: _____ Date: _____
Affidavit with document provided: Yes _____ No _____ Date: _____

License:
Date Paid: _____ Amt:\$ _____ Date Issued: _____ #: _____



AFFIDAVIT DEMONSTRATING LAWFUL PRESENCE IN THE UNITED STATES

ARS §1-502 requires that any person who applies to the City for a local public benefit (defined as a business license, grant, contract or loan) must demonstrate that he/she is lawfully present in the United States through the presentation of one (1) of the following documents.

Please place a check mark next to the applicable document and present the document to the City employee. If mailing the document, attach a copy of the document to this Affidavit. (If the document says on its face that it may not be copied or you know for reasons of confidentiality that it cannot be copied, you will need to present the document in person to the City for review and signing of the affidavit.)

- Arizona Driver License issued after 1996.**
Print first 4 numbers/letters on license:

--	--	--	--
- Arizona Non-Operating Identification License.**
Print first 4 numbers/letters on license:

--	--	--	--
- Birth Certificate or Delayed Birth Certificate issued in any state, territory or possession of the United States**
Year of birth: _____ Place of birth: _____
- U. S. Certificate of Birth Abroad.**
Year of birth: _____ Place of birth: _____
- U. S. Passport.**
Print first 4 numbers/letters on passport:

--	--	--	--
- Foreign Passport with a United States Visa.**
Print first 4 numbers/letters on passport:

--	--	--	--

Print first 4 numbers/letters on visa:

--	--	--	--
- I-94 Form with a photograph.**
Print first 4 numbers on I-94:

--	--	--	--
- USCIS Employment Authorization Document (EAD).**
Print first 4 numbers/letters on EAD:

--	--	--	--

or Permanent Resident Card (acceptable alternative):

--	--	--	--
- Refugee Travel Document.**
Date of issuance: _____; Refugee Country: _____
- U. S. Certificate of Naturalization.**
Print first 4 numbers/letters of CIS Reg. No.:

--	--	--	--
- U.S. Certificate of Citizenship.**
Date of issuance: _____; Place of issuance: _____
- Tribal Certificate of Indian Blood.**
Date of issuance: _____; Name of tribe _____
- Tribal or Bureau of Indian Affairs Affidavit of Birth.**
Year of birth: _____ Place of birth: _____

I swear or affirm, under penalty of perjury, that I presented the document marked above to the City of Show Low, that I am lawfully present in the United States, that the document I presented to establish this presence is true, and that I am the person stated on the document.

Signature

Business/Company

Print Name

Address

Date: _____

City, State, Zip Code

For Office Use Only:

Employee Name: _____ Date: _____

Promptly report all observed violations of federal immigration law to (866) 347-2423 or by emailing azicereport@dhs.gov.

Reported violation (check if applicable); Date/Time Reported: _____

City of Show Low Utility Rates & Fees

Effective 7/1/2011 per Resolution 2011-17

Water Rates				
Rate Code	Meter Sizes	Usage Allowance	Base Fee	Rate per 1,000/gal
101	5/8-3/4"	5,000	24.00	2.36
102	1"	5,000	37.10	2.36
103	1 1/2"	11,000	77.98	2.36
104	2"	22,000	167.72	2.36
105	3"	44,000	345.27	2.36
106	4" +	67,000	556.49	2.36

Water Rates- Outside City Limits				
Rate Code	Meter Sizes	Usage Allowance	Base Fee	Rate per 1,000/gal
111	5/8-3/4"	5,000	30.00	2.95
112	1"	5,000	46.38	2.95
113	1 1/2"	11,000	97.48	2.95
114	2"	22,000	209.65	2.95
115	3"	44,000	431.59	2.95
116	4" +	67,000	695.61	2.95

Wastewater Rates			
Rate Code	Description	Base Fee	Rate Per 1,000/gal
301	Residential	26.78	n/a
351	Residential- Low Pressure	37.08	n/a
301	Commercial	21.12	2.42
361	Commercial- Low Pressure	32.38	2.42
310	Multi Family/Trailer Park*	21.12	1.82
311	Offices/Business/Retail*	21.12	1.82
314	Churches*	21.12	1.82
316	Motels and Hotels*	21.12	1.82
318	Schools*	21.12	1.82
320	Bars*	21.12	1.82

*Existing business phase-in-rate

Sanitation Rates- Resolution 2011-07		
Rate Code	Description	Base Fee
501	First Polycart	16.50
502	Additional Polycart	7.54

Miscellaneous Rates		
Rate Code	Description	Base Fee
2101	Water Rights Preservation Fee	0.75
	Seasonal/Inactive Status	200.00
	<i>-Includes connect/disconnect fee for water customers</i>	
	<i>-Fee may be paid in installments over a period not to exceed 6-months</i>	
	<i>-Entire fee must be paid prior to re-connection</i>	
	<i>-Includes all services</i>	
	Water Connection	25.00
	Water Disconnect	25.00
	After Hours Call Out	40.00
	Re-Read/Read Only	25.00
	Bulk Meter Activation	150.00
	Bulk Meter Deposit	800.00
	Non-Sufficient Funds fee	25.00
	Late Fee <i>(applied 10 days after billing date)</i>	10.00
	Security Deposit	150.00
	<i>-with autopay sign up and continued active autopay</i>	75.00



CITY OF SHOW LOW
BUILDING SAFETY DEPARTMENT
 180 N. 9TH STREET
 SHOW LOW, AZ 85901
 (928) 532-4050 /FAX (928) 532-4059

COMMERCIAL IMPACT FEE SCHEDULE

Commercial water and sewer system capacity fees*
(Fees effective 1/6/2012)

Water and sewer capacity fees are based on meter size. All meters are compound unless noted otherwise.

Meter Size	Meter Cost	Water System Capacity Fee	Sewer System Capacity Fee	Total* (Meter plus capacity fees)
¾"	\$301	\$1,280	\$4,253	\$5,834
1"	\$337	\$2,174	\$7,229	\$9,740
1½"	\$590	\$4,224	\$14,043	\$18,857
2"	\$810	\$6,754	\$22,455	\$30,019
2" Turbine	\$810	\$6,754	\$22,819	\$30,383
3"	\$2,302	\$13,654	\$45,384	\$61,340
3" Turbine	\$1,150	\$15,313	\$50,901	\$67,364
4"	\$3,685	\$21,749	\$72,292	\$97,726
4" Turbine	\$2,000	\$26,233	\$87,204	\$115,437

*Note: Additional building fees will apply

Updated 12/7/2011



CITY OF SHOW LOW
BUILDING SAFETY DEPARTMENT
180 N. 9TH STREET
SHOW LOW, AZ 85901
(928) 532-4050 /FAX (928) 532-4059

BUILDING PERMIT AND PLAN REVIEW FEES

Building Permit Fee. Fees are formulated by the 1997 Uniform Building Code fee schedule. Please contact Building Safety Department personnel for assistance in calculating this fee. Please check below for expiration timelines.

Plan Review Fees. FOR COMMERCIAL PROJECTS REVIEWS, a fee of 50% of the building permit fee as outlined in the 1997 Uniform Building Code will be applied to the plan review fee. A \$400 deposit will be received when the plans are submitted, which will be applied to the plan review fee at the time of issuance. The building permit application and documents (plans) shall be active for 180 days from the date of application. If the permit has not been issued by that time, the documents (plans) shall be returned to the applicant and the deposit forfeited to the city.